



WEEMALA

AT THE LAKE

DESIGN GUIDELINES

ANOTHER QUALITY GCG DEVELOPMENT



CONTENTS

1.0	INTRODUCTION	1
1.1	THE PURPOSE	1
1.2	THE VISION	3
1.3	DEFINITIONS	3
2.0	APPROVAL PROCESS	4
2.1	THE PRINCIPLES	4
2.2	THE STEPS	4
2.3	THE REQUIREMENTS	5
2.4	VARIATIONS	5
3.0	SITE DESIGN	6
4.0	BUILDING DESIGN	8
5.0	DESIGN ELEMENTS	10
6.0	SITE USAGE	14
7.0	DESIGN GUIDELINE CHECKLIST	15



Kerry Nichols
HDB Town Planning & Design
44 Church Street, Maitland NSW 2320
PO Box 40 Maitland NSW 2320
Tel: (02) 4933 6682
Email: admin@hdb.com.au
www.hdb.com.au



Mat Somers
Tel: 0418 222 425
matt@ascotland.com.au



1.0 INTRODUCTION

1.1 THE PURPOSE

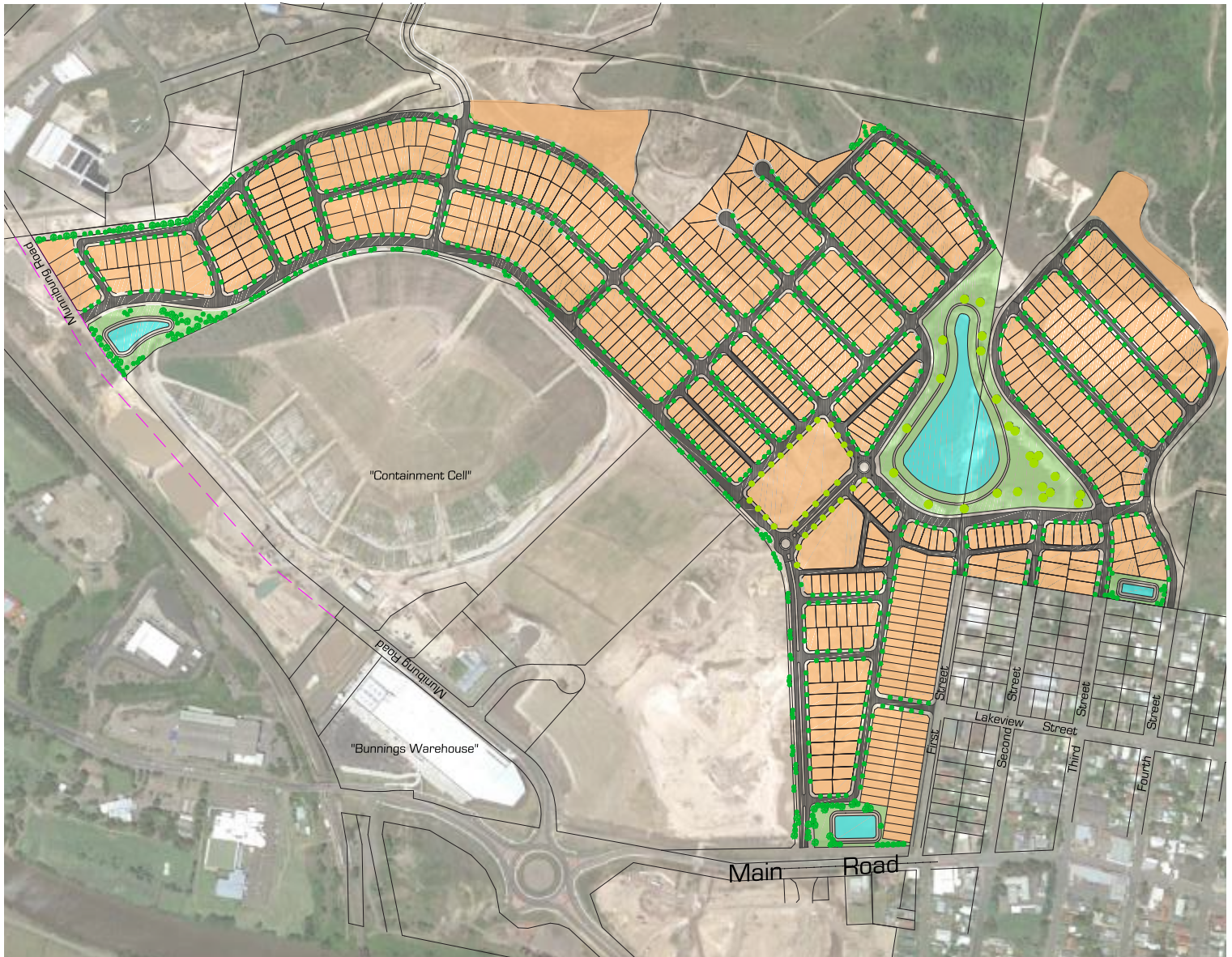
The purpose of this document is to present the development form and standards to guide development in the “Weemala at the Lake” development.

This document has taken the information presented in Lake Macquarie Development Control Plan and sought to interpret this to ensure that the proposed development of Weemala is generally consistent with these principles. The nature and topography of the site requires specific responses that in some circumstances differ from the adopted principles.

There is a strong desire to see the resulting development deliver more than a standard subdivision. Weemala is a site that is at the forefront of the communities consciousness. The final step in the transformation of this site must produce a precinct a place that delivers on all the promise’ that the site has to offer.

As such this document represents the developers articulation of the place making principals required for the site. To date this process has resulted in the design and layout of a subdivision which balances the opportunities and constraints of the site to create an engaging and positive contribution to the urban fabric of Lake Macquarie. It is intended that this will continue with further place making exercises to demonstrate how the site specific controls that are included in this document can be combined to deliver an exceptional place to live .

1.0 INTRODUCTION



Weemala at the Lake provides an exemplary example of Master Planning and place making, contributing in a positive way to the surrounding community.

Responding to the site, the built form will provide for a variety of building types and forms, organically generating a development which prioritises function over form and melds with the surrounding neighbourhoods. A key to this is diversity of typology and form. Together with a strong urban theme and central commercial hub.

- **Small Lot Housing**
Rear-loaded allotments ranging from approximately 300m² to 350m² are strategically located with immediate access to the CBD/ mixed-use lots, and landscaped open spaces. These lots will typically accommodate medium density housing, for optimum use of site and central-location.

- **Traditional Lot Housing**
Traditional lots typically range from 400m² to 500m², allowing adequate space to accommodate common dwelling types, with low-medium density housing.
- **Large Lot Housing**
Ranging from 600m² and above, these allotments provide larger space to accommodate a size-able dwelling and private open spaces to suit typical suburban lifestyle with greater access to existing services.



2.0 APPROVAL PROCESS

2.1 THE PRINCIPLES

Weemala at the Lake seeks to foster innovative built form and the expression of varied architectural forms in the design of homes within the estate.

The design guidelines have been put in place to ensure that the quality and lifestyle for the residents of Weemala at the Lake is maintained, and the integrity, vision and community base is upheld, while still offering flexibility and inspiring personal creativity.

2.2 THE STEPS

These design guidelines are in addition to statutory and other local authority requirements. Green Capital Group (the Developer) does not warrant that the Lake Macquarie City Council (the local authority) will approve or refuse any house plan, even if it satisfies these Design Guidelines.

You may be able to seek a Complying Development Certificate for your proposed home. You should talk to your builder / designer about this option which may save you time and money. Alternatively you may wish to seek guidance from the Weemala at the Lake Design Review Panel in submitting a development application.

Before you seek a Complying Development Certificate or lodge a Development Application with Lake Macquarie Council, you are required by the Contract of Sale to obtain Design Approval from the Weemala at the Lake Design Review Panel (DRP).

To ensure a great design and smooth design review process, please pass these following technical requirements on to your builder / designer so that a 'Home Design Package' can be prepared for endorsement by the DRP. The key steps are outlined opposite.

You should also make yourself aware of the covenants on the title of your land as these may also affect your design.

Owner/Designer/Builder reviews Housing Code or Lake Macquarie Council DCP and the Weemala at the Lake Design Guidelines and Contract

Owner/Designer/Builder submits a 'Home Design Package' to Weemala at the Lake Design Review Panel for review against Design Guidelines

If acceptable - Weemala at the Lake Design Review Panel issues letter of endorsement and stamped plans

Owner / Designer / Builder obtains a Complying Development Certificate from an Accredited Certifier and proceeds to construction

or

Owner / Designer / Builder submits a Development Application including Weemala at the Lake design endorsement letter and stamped plans to Lake Macquarie Council

2.0 APPROVAL PROCESS

2.3 THE REQUIREMENTS

Your builder / designer needs to review this document so that a 'Home Design Package' can be prepared for endorsement by the DRP. Design endorsement by the DRP is required before you obtain a Complying Development Certificate or lodge a Development Application with Lake Macquarie Council.

A 'Home Design Package' must include one A3 set of plans comprising the following:

- Site Plan with overall dimensions for all structures; total site and floor area; site coverage; landscape area; all easements and services; dimensioned front, rear and side
- setbacks; vehicle access and levels.
- Floor Plans showing key dimensions; porch dimensions; main building line; garage setback; door and window positions.
- Sections showing dimensioned building heights; roof pitch and eaves depth.
- Elevations including all external materials, finishes and colours.
- Landscape Plan (may be shown on Site Plan) showing boundary fencing and or planting; description of planting and location; materials, colours and finishes of hard surfaces such as driveways or paving.
- Any planned retaining walls and or alterations to fencing or retaining walls.

If plans are approved with alterations or more information/ documentation is required, you may resubmit or provide required information within 14 days. If you do not comply, the DRP is able to refuse your application.

If plans are not approved, you may arrange a meeting with DRP consultant Architect/ Planner (HDB Town Planning & Design) to review the application.

When successful endorsement has been achieved, the DRP will issue a **letter of endorsement** with stamped plans for you to obtain a Complying Development Certificate or lodge a Development Application with Lake Macquarie City Council. This process will normally take 3 to 5 days to complete.

If the DRP cannot resolve an issue, the matter will be submitted to Council.

2.4 VARIATIONS

Variations to these guidelines may be considered on merits. Where a variation is sought the applicant will need to demonstrate how the variation exceeds the desired objectives and presents a superior outcome to that which this document envisages.

3.0 SITE DESIGN

Objectives

- To define a building envelope for each housing type
- Ensure that the building envelope allows for flexible architectural expression
- Allow for separation of housing to maintain privacy and solar access

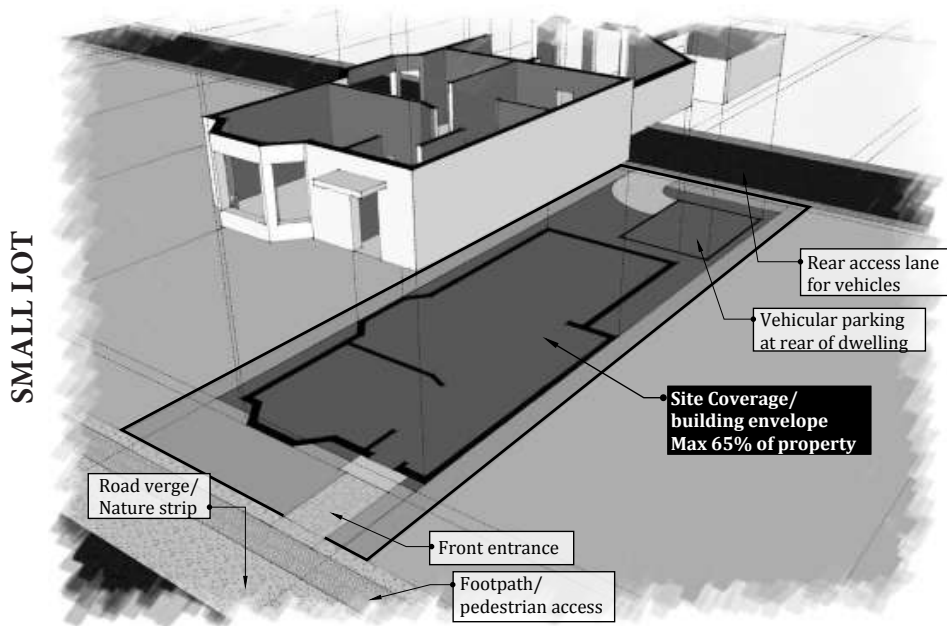
Site Coverage

- The maximum site coverage will be 50%
- Small Lot Housing may vary this up to 65%

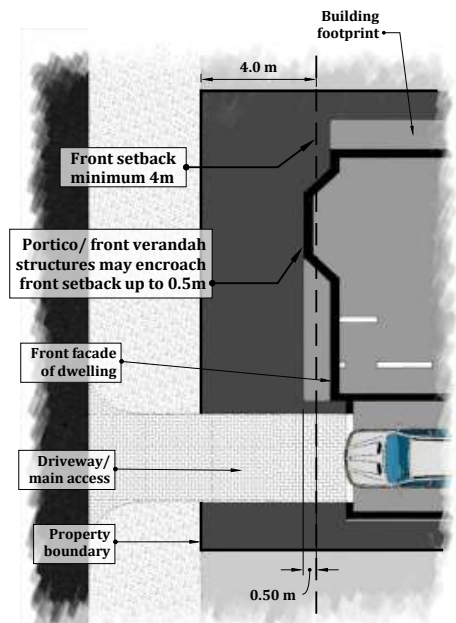
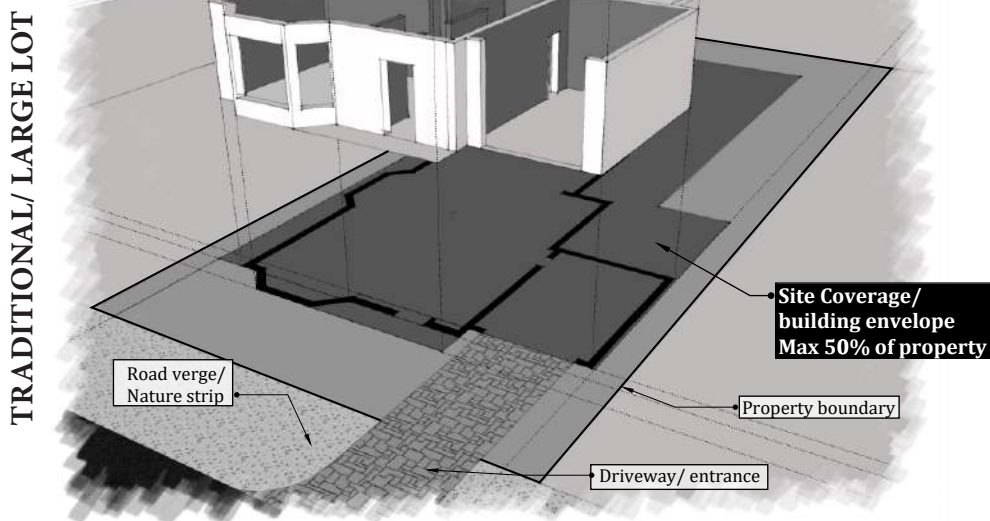
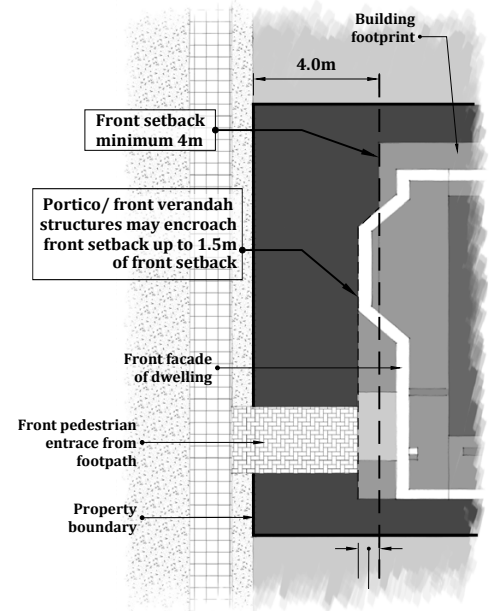
Front Setback

- All housing forms shall be set back 4m
- Portico structures may encroach up to 0.5m into the front setback. For small lot housing, this may be varied up to 1.5m in to the front setback for a maximum 50% of the building width.

SITE COVERAGE



FRONT SETBACK



3.0 SITE DESIGN

SIDE SETBACKS

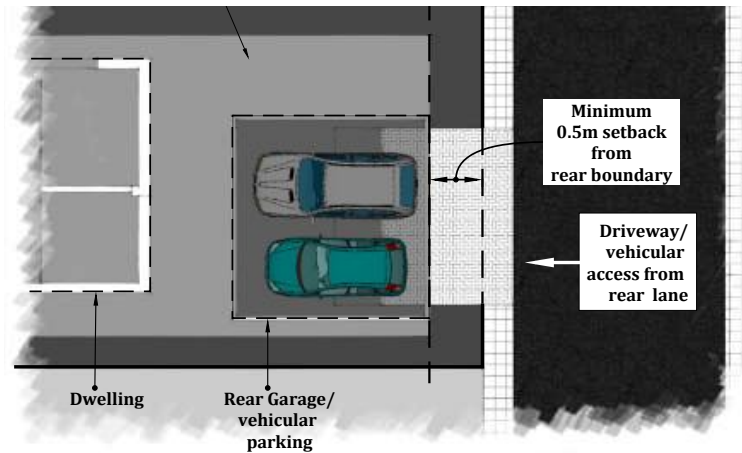
- Single storey elements shall be setback 0.9m from the boundary
- Two storey elements shall be setback 1.5m from the boundary
- Where lot width is between 8 - 12.5m, small lot housing may be built to only one side boundary.
- Where designed as a "group" side setbacks for small lot housing may be varied to allow for zero setbacks.

SMALL LOT

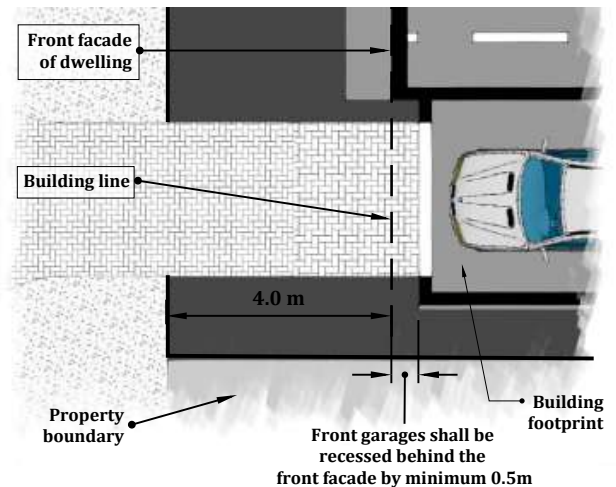
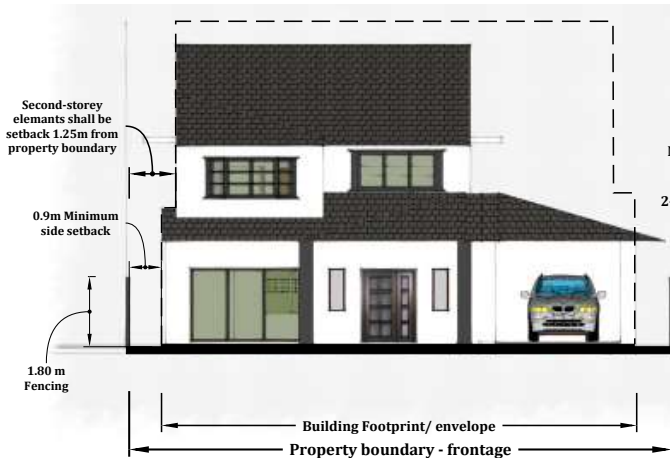


GARAGES

- Small Lot Housing shall access garages from the rear lane (No vehicle access to lots is permitted from primary road frontage)
- Small Lot Housing garages shall be set back 0.5m from the rear boundary. Garages adjacent to a rear lane may be built to the rear boundary.
- Traditional and Large housing garages shall be recessed 0.5m behind the front facade
- Garages shall not dominated the streetscape, and shall occupy no more than 50% of the front facade.

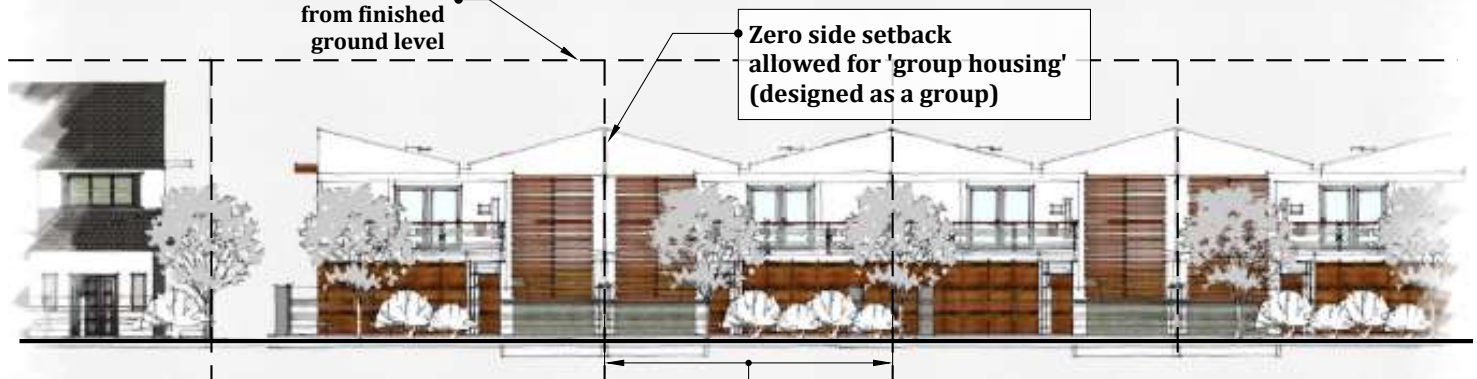


TRADITIONAL/ LARGE LOT



8.5m maximum building height from finished ground level

EXAMPLE OF ZERO SIDE LOT CLEARANCE



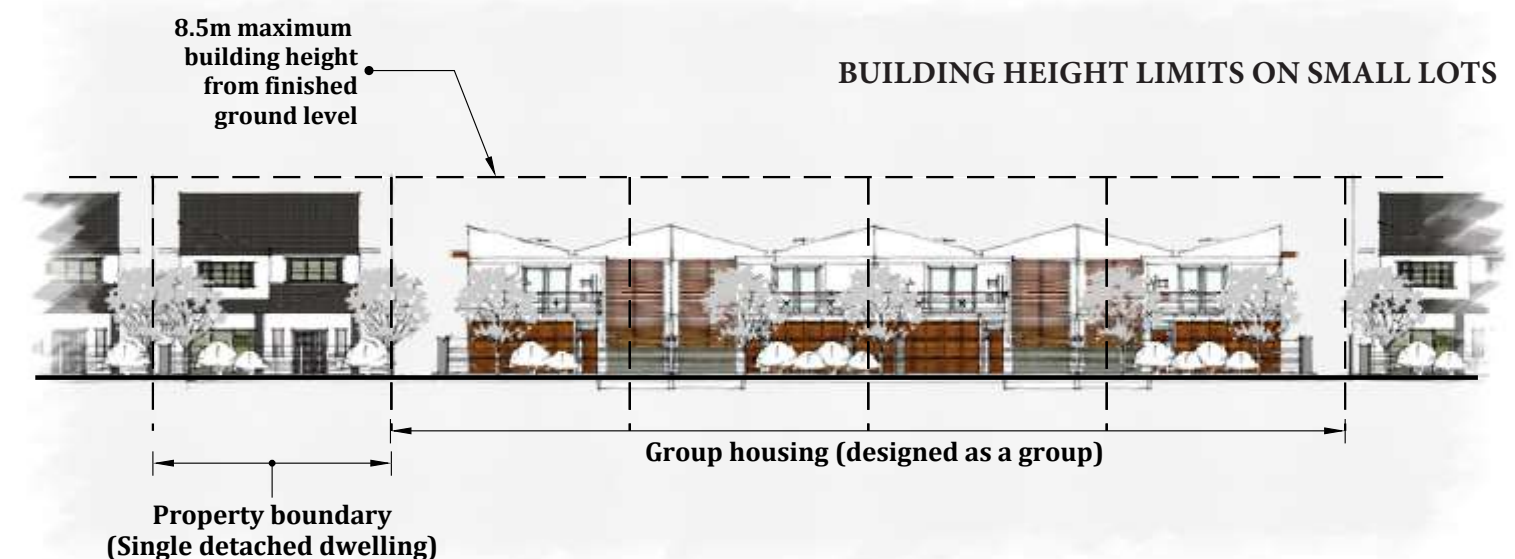
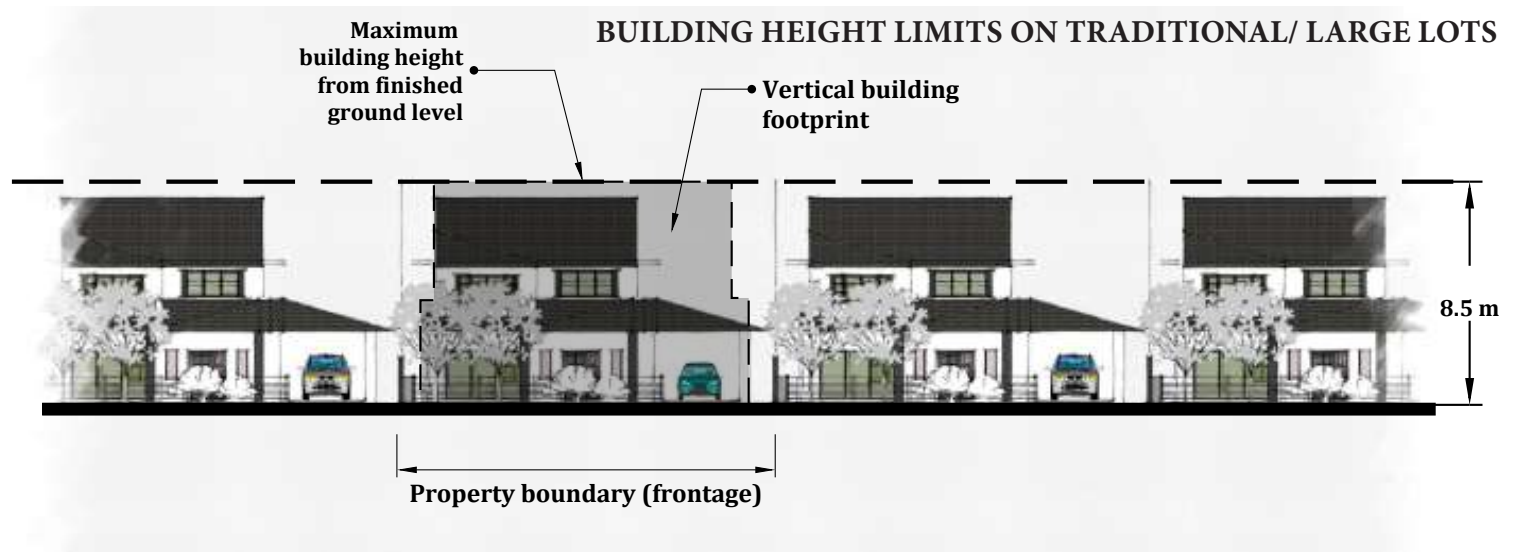
4.0 BUILDING DESIGN

OBJECTIVES

- To create an attractive and cohesive streetscape through the provision of simple and articulated building, roof forms and building materials.
- Ensure that buildings are designed to enhance the existing and future desired built form and character of the neighbourhood by encouraging innovative and quality designs that fit the topography of the site
- To ensure the provision of equitable access to natural light and ventilation for the occupants of all residential buildings.

HEIGHT

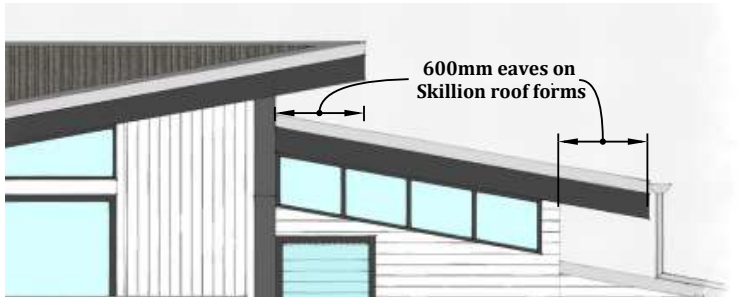
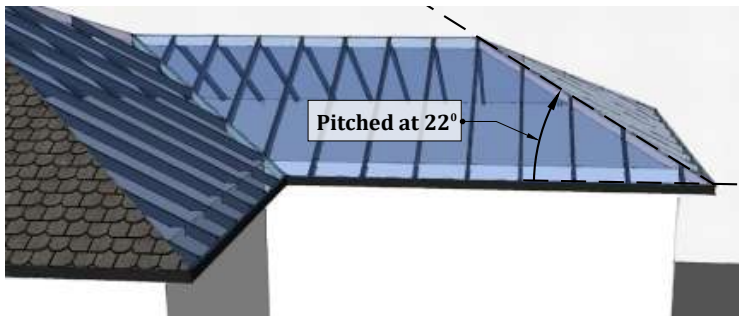
- The maximum height of all housing types is 8.5m above finished ground level.
- All housing shall present the maximum building height to the street



4.0 BUILDING DESIGN

ROOF

- Roof lines should use simple gable, hip or skillion to minimise the impact of the roof on the visual amenity of the area
- No combination roof types will be permitted
- Gable/Hipped roofs shall be pitched no less than 22°
- Skillion roofs shall have min 600mm eaves
- Roofs shall be colourbond or tile
- All roofing is to be of recessive colours



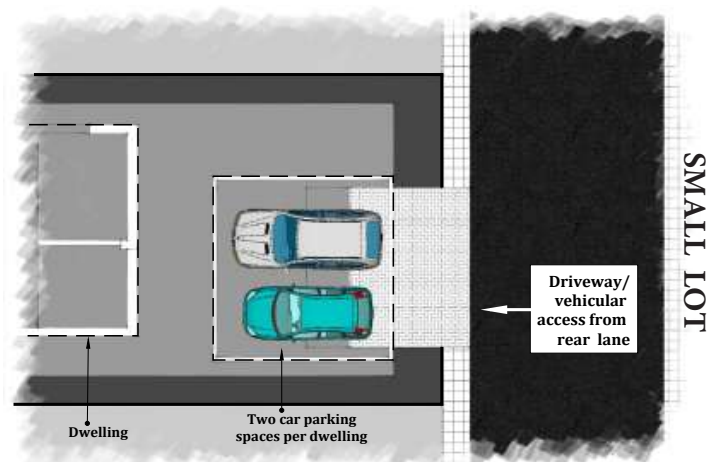
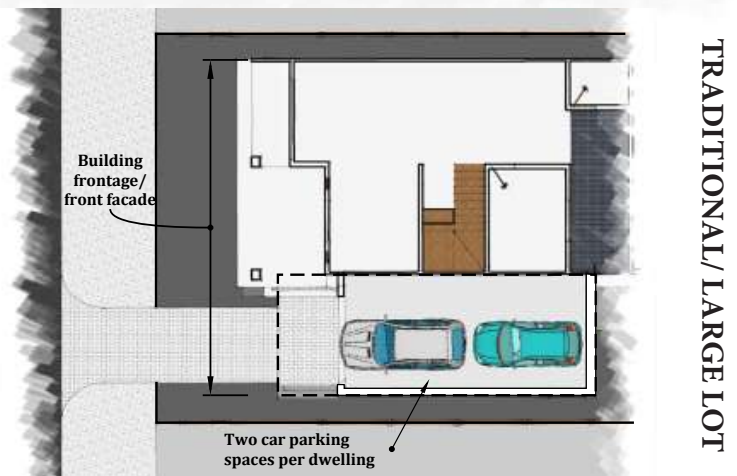
Not permitted - Complex roof forms with different styles



Permitted - Simple roof forms with distinct style

GARAGE

- All dwellings shall allow for a minimum of two cars within the dwelling or garage structure
- All garages within the front facade shall occupy no more than 50% of the width of the facade
- All garages are to be recessive colours
- All garages shall be tilt up or panel-lift doors



5.0 DESIGN ELEMENTS

OBJECTIVES

- To ensure high quality design and built outcomes
- To create a interesting and varied streetscape
- To ensure that landscaping is considered and complimentary

LANDSCAPING

- All landscaping must be consistent with the approved landscaping plans

ARCHITECTURAL

- Building must be designed by a Registered Designer, Architect or DRP approved builder
- The facade of a dwelling shall not be substantially the same as another facade within three lots adjacent to or across the street
- The primary entry must be via the front facade
- Design elements should be used to define and articulate the entry
- Secondary street front addresses must be articulated where visible
- All services shall be hidden from public view including but not limited to
 - satellite dishes
 - air conditioning systems
 - solar hot water systems
 - cloths lines

ARCHITECTURAL ELEMENTS: FACADE VARIETY, SCREENING & FENCING



LANDSCAPING ELEMENTS:



5.0 DESIGN ELEMENTS

MATERIALS AND TEXTURE

- Materials and colours should generally be natural and muted
- Re-frame from using large areas of contrasting materials and/or colour
- Important details/features can be highlighted with accent tones or materials
- Front facades should not visually compete through the use of multi colours and/or materials
- A materials palette shall be submitted with all dwelling applications

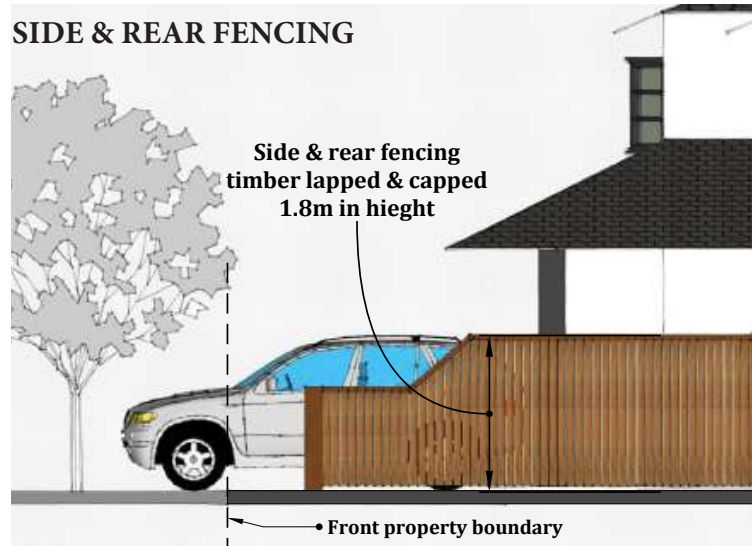


5.0 DESIGN ELEMENTS

FENCING

No fence shall

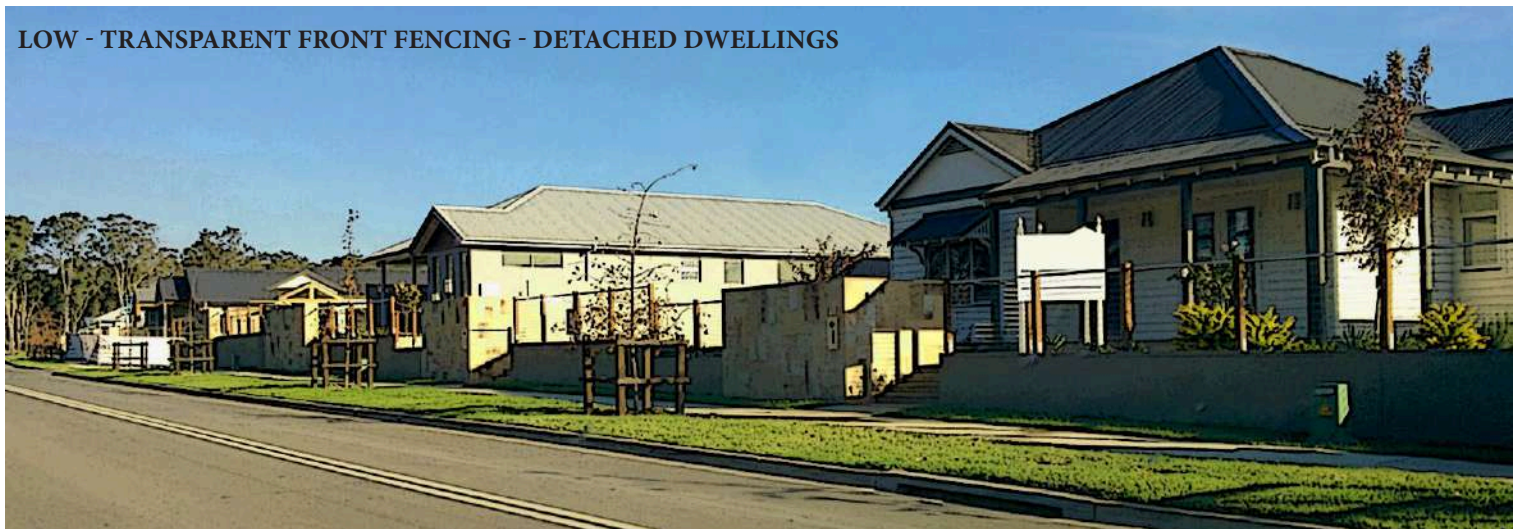
1. Exceed 1.8m in height; or
2. Be constructed of materials and style other than:
 - Brick
 - Masonry
 - Lap and capped timber
 - Such other materials as may be approved in writing by Greencapital Aust P/L
 - Colourbond Fencing will only be consider in asset protection zones.
 - Where proposed the colour of Colourbond fencing must be recessive and neutral
 - All fencing shall finish at or before the building line
 - Front fencing at building line shall be maximum 1.2m high and 50% transparent



LOW - TRANSPARENT FRONT FENCING - GROUP HOUSING



LOW - TRANSPARENT FRONT FENCING - DETACHED DWELLINGS



5.0 DESIGN ELEMENTS

LANDSCAPING

- The owner shall ensure that the front yard is fully landscaped within 3 months of occupation of the dwelling, in accordance with the approved Landscaping Plan.

6.0 SITE USAGE

OBJECTIVES

- To enable the design structure to contribute to the overall design quality of the estate;
- To ensure subsequent usage does not detract from the general standard and value of the development.

SITE USAGE

- The owner of any lot burdened shall not construct or erect or cause to allow to be constructed or erected on the burdened lot any residential dwelling or any other building improvement or erection or thing which does not comply with the design guidelines and has not been approved in writing by Greencapital Aust Pty Limited;
- The owner of any lot burdened shall not construct or erect or externally renovate any building or structure or appendage or improvement of any kind on the lot burdened (including but not limited to outbuildings, car parking areas, structures, landscaping, spaces undercover, open storage areas, fences, walls, air-conditioning units, television, radio, satellite or other antennas) without the prior written consent of Greencapital Aust Pty Limited which will not be unreasonably withheld;
- The owner of any lot burdened shall not permit or authorise any part of the residence constructed on the burdened lot to be used in any way directly or indirectly for any business, commercial, manufacturing, mercantile storage, vending or any non-residential purpose other than a business which is in the opinion of Greencapital Aust Pty Limited is quiet and unobtrusive and which does not in any way detract from the general amenity of the burdened lot;
- Not more than one residence shall be erected or be permitted to remain on any lot, except for granny flats that are integrated into the main building, in accordance with the relevant Council provisions;
- No main building shall be erected or permitted to remain on any lot having a total internal floor area of less than 140sqm exclusive of car accommodation, external landings and patios;
- The owner of each lot burdened shall not raise, breed or keep, permit to be raised, bred or kept any insects, reptiles, animals, livestock or poultry on the burdened lot provided that this restriction shall not operate to prevent the owner of the burdened lot from keeping no more than three domestic pets on the burdened lot;
- Dwellings shall not be allowed to be erected, occupied or owned by any person, corporation, Government or Non-Government organisation for the purpose of public, social or affordable housing on any lot burdened;
- Advertising or hoarding signage, including "For Sale" sign shall not be displayed or erected on any lot for a period of one (1) year from the date of transfer without the prior written consent of Greencapital Aust Pty Limited;
- With the exception of vehicles used in connection with the erection of a dwelling, no motor truck, lorry semi trailer or bus shall be permitted to park or be permitted to remain on any lot or street;
- No mobile home, temporary or permanent moveable improvement (i.e. tent, shack, camper or caravan) shall be moved to, placed upon, re-erected, reconstructed or permitted to remain on any lot burdened;
- Any trailer, boat, caravan or additional vehicle parking area shall be located behind the building line and screened from public view. None of the above will be permitted to be located on the street or within the front setback of any lot
- Clothes drying areas must be screened from any public view on any lot burdened.

7.0 DESIGN GUIDELINE CHECKLIST

DESIGN GUIDELINES CHECKLIST			Yes	No	Alt	DRP
Site Design						
Site Coverage		Maximum Site Coverage for Traditional and Large lots shall not exceed 50%				
		Maximum Site Coverage for Small lots shall not exceed 65%				
Setbacks	Front	4m from the property boundary for all housing types				
		Portico structures may encroach up to 0.5m into the front setback. For small lot housing, this may be varied up to 1.5m in to the front setback for a maximum 50% of the building width.				
	Side	0.9m for single storey elements (up to 4.5m height) – 1.5m for two storey elements (between 4.5 - 8.5m height)				
		Where the lot width is between 8 - 12.5m, side setbacks for small lot housing may be varied to allow for zero setbacks				
	Garage	Small Lot Housing shall access garages from the provided rear lanes				
		Garages adjacent to a rear lane may be built to the rear boundary.				
		Traditional and Large housing garages shall be recessed 0.5m behind the front facade				
Building Design						
Height		Maximum building height shall be 8.5m				
		The maximum height of the dwelling is presented to the street				
Roof		Simple roof design using corrugated steel or flat profile roof tiles				
		Gable or hipped roofs to have a minimum pitch of 22°				
		Skillion roofs have minimum 600mm wide eaves				
		Complex roofing forms with combined styles shall not be used within any dwellings				
Garages		All garages within the front facade shall occupy no more than 50% of the width of the facade				
		All garages are to be recessive colours and materials				

		All garages shall be tilt up or panel-lift doors				
DESIGN GUIDELINES CHECKLIST			Yes	No	N/A	
Design Elements						
Architectural		Building must be designed by a Registered Designer, Architect or DRP approved builder				
		The facade of a dwelling may not be the same as another facade within three lots adjacent to or across the street				
		The primary entry must be via the front facade				
		Design elements should be used to defined and articulate the entry				
		Secondary street frontages must be articulated where visible				
		All services shall be located away from public view				
Material and Textures		Materials and colours should generally be neutral and muted				
		Re-frame from using large areas of contrasting materials and/or colour				
		Important details/features can be highlighted with accent tones or materials				
		Front facades should not visually compete through the use of multi colours and/or materials				
		A materials palette shall be submitted with all dwelling applications				
Landscaping		Ensure that plant species where appropriate are native and low maintenance				
		Ensure that plant selection for landscaping is consistent with the species list provided under the approved Landscape Master Plan.				
Fencing		Side and rear fencing shall be 1.8m high lapped and capped timber				
		Colourbond Fencing will only be considered in asset protection zones.				
		Where proposed the colour of Colourbond fencing must be recessive and neutral				
		All fencing shall finish at or before the building line				

OBJECTIVES:

Landscaping within the properties shall create transition between the private and public spaces.

The front garden/ yard should act as the interface between the dwellings and streets, and should contain at least one medium-sized native tree in addition to other types of planting, preferably sourced from the species listed below.

Small trees/ Shrubs

Banksia serrata
Callistemon citrinus
Callistemon salignus
Leptospermum petersonii
Leptospermum polygalifolium
Magnolia 'Little Gem'
Syzygium paniculatum

Old man Banksia
Crimson Bottlebrush
Willow Bottlebrush
Lemon scented tea tree
Tea tree
Dwarf Magnolia
Magenta Lillypilly/ Scrub cherry

Screening trees

Pistacia chinensis
Pyrus calleryana 'capital'
Ulmus parvifolia
Waterhousea floribunda

Chinese Pistachio
Ornamental pear
Chinese Elm
Weeping Lilly Pilly

Screening trees/ shrubs

Callistemon citrinus
Callitris oblonga
Elaeocarpus reticulatus
Laurus nobilis
Pyrus calleryana 'capital'
Pittosporum revolutum
Syzygium australe 'Pinnacle'

Bottlebrush 'Mary MacKillop'
Dwarf Cypress Pine
Blueberry ash
Bay Tree
Ornamental pear
Rough-fruit Pittosporum
Lilly Pilly

Small trees/ shrubs

Acmena smithii firescreen.
Banksia serrata
Callistemon citrinus
Callistemon salignus
Hakea salicifolia
Syzygium paniculatum

Creek Lilly Pilly
Old man Banksia
Crimson Bottlebrush
Willow Bottlebrush
Willow-leaved Hakea
Australian Bush Cherry

Ground covers

Carex appressa
Dianella caerulea
Poa labillardieri cv 'Eskdale'
Themeda australis
Viola hederacea
Scaevola 'Purple Fusion'
Westringia 'Grey Box'
Westringia 'Zena'

Tussock sedge
Paroo Lily/ Blue Flax Lily
Eskdale
Kangaroo Grass
Native Violet
Purple Fusion Fan Flower
Grey Box Westringia
Coastal Rosemary

Small shrubs/ Perennials

Brachycome multifida
Callistemon sp.
Dianella spp.
Doryanthes excelsa
Grevillea spp.
Lomandra longifolia
Lomandra 'Tanika'

Cut-leaf Daisy (P)
Calli stemon
Flax Lilly
Gymea Lily/ Giant Lily (P)
Grevillea
Mat Rush
Mat Rush



LANDSCAPE GUIDELINES TRADITIONAL/ LARGE LOTS LOT 50, 2 FIRST STREET BOOLAROO



Client:
Green Capital Australia P/L
Scale: N/A

File Ref:
2019-00017 - Green Capital Asset PL -
DA for small lots - Lot 50 Warragul
Design - Drafting
Date: 26 Nov 2019

DRAWING DETAILS
SHOO
Rev.A



© COPYRIGHT 2017
HUNTER DEVELOPMENT BROKERAGE PTY LTD